

Subsection 4.06. Accessory Structure Standards

4.06.01. Accessory Structure Use in Residential Districts

In the following applicable residential zoning districts, an accessory structure shall not be used for commercial purposes.

Applicable Zoning Districts Table		
Section	District Abbreviation – District Name	Page Number
2.03.01.	AG – Agricultural District	18
2.03.02.	RE – Residential Estate District	19
2.03.03.	SF-16 – Single Family Residential-16 District	20
2.03.04.	SF-12.5 – Single Family Residential-12.5 District	21
2.03.05.	SF-10 – Single Family Residential-10 District	22
2.03.06.	SF-8.5 – Single Family Residential-8.5 District	23
2.03.07.	SF-7 – Single Family Residential-7 District	24
2.03.08.	OTR – Original Town Residential District	25
2.03.09.	PH – Patio Home District	27
2.03.10.	2F – Two Family Residential (Duplex) District	29
2.03.11.	TH – Townhome District	30
2.03.12.	MF-15 – Multifamily-15 District	32
2.03.13.	MF-19 – Multifamily-19 District	33
2.03.14.	MH – Manufactured Home District	34

4.06.02. Accessory Structure Use in Nonresidential Zoning Districts

In the following applicable nonresidential districts, an accessory structure is a subordinate structure, the use of which is incidental to and used only in conjunction with the main structure.

Applicable Zoning Districts Table		
Section	District Abbreviation – District Name	Page Number
2.04.01.	O-1 – Office-1 District	35
2.04.02.	O-2 – Office-2 District	36
2.04.03.	R – Retail District	38
2.04.04.	OTC – Original Town Commercial District	39
2.04.05.	H – Highway District	45
2.04.06.	C-1 – Commercial-1 District	46
2.04.07.	C-2 – Commercial-2 District	47
2.04.08.	IT – Information and Technology District	48
2.04.09.	I – Industrial District	49

4.06.03. Garage Apartment or Guest House

A [Garage Apartment](#) (Page [288](#)) or [Guest House](#) (Page [288](#)) shall be allowed as an incidental use on the same lot or tract as the main dwelling unit and used by the same person or persons of the immediate family when the main structure is owner occupied, and meet the following standards.

(A) Location

- (1) A [Garage Apartment](#) (Page [288](#)) shall be constructed attached to a garage, either above or adjacent to the garage.
- (2) A [Guest House](#) (Page [288](#)) shall be constructed to the rear of the main dwelling, separate from that upon which the main dwelling is constructed.

(B) Building Permit Requirement

A Garage Apartment or Guest House may be constructed only with the issuance of a Building Permit.

(C) Independent Sale and Sublet Prohibited

A Garage Apartment or Guest House may not be sold separately from sale of the entire property, including the main dwelling unit, and shall not be sublet.

(D) Setbacks

Setback requirements shall be the same as for the main structure.

4.06.04. Area Regulations for Accessory Structure in Residential Districts

(A) Definition

See [Accessory Structure](#) (Page [276](#)).

(B) An Accessory Structure is prohibited in any easement.

(C) MH District

In the MH District, no carport, garage, storage structure, office, caretaker's dwelling, laundry house, or other permitted structure may be located nearer than ten (10) feet to any side or rear property line. Such structures shall also be subject to front yard setback requirements of the primary structure.

(D) Multifamily Zoning Districts

Accessory Structure yard requirements shall be the same as the main structure unless otherwise specified in the zoning district or approved by the Planning & Zoning Commission on a Preliminary Site Plan for the multifamily development.

- (1) See [Figure 9.01.01.13: Accessory Building Setbacks](#) (Page [322](#))

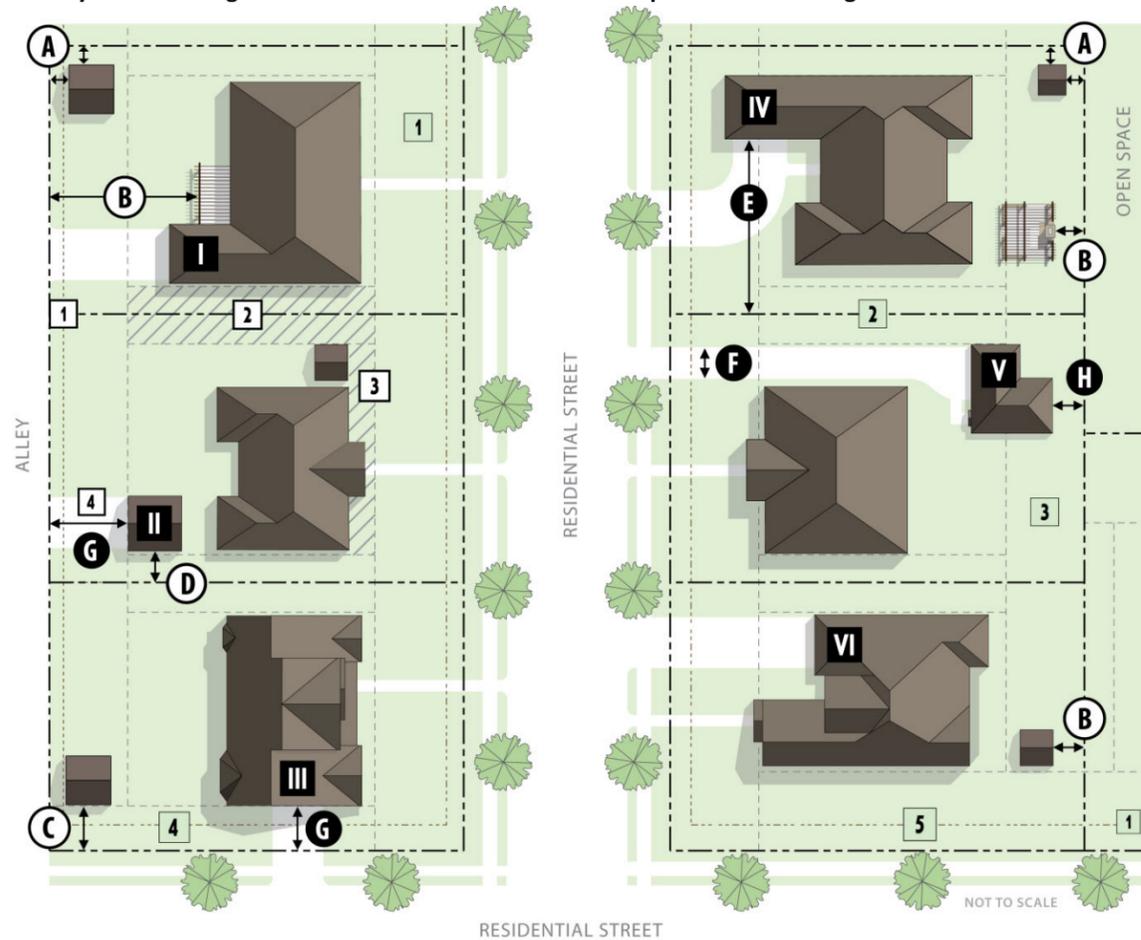
(E) All Residential Districts Except Multifamily Zoning Districts

- (1) Specific Standards

- a. Accessory Structure yard requirements shall be the same as the main structure unless otherwise specified in [4.06.04. \(F\) Accessory Structure Regulations in All Residential Districts Except MF & MH Zoning Districts](#) (Page [167](#)).
- b. See [Figure 4.06.04.1: Accessory Structure Regulations in All Residential Districts Except MF & MH Zoning Districts](#) (Page [167](#)) for requirements.

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(F) Accessory Structure Regulations in All Residential Districts Except MF & MH Zoning Districts



LEGEND		REQUIREMENTS FOR ALL ACCESSORY STRUCTURES	
	Property Lines	1	No structure shall be placed within an easement.
	Setback Lines	2	No structure shall be placed in the side yard setback between the front and rear yard setback lines.
	Easement Lines	3	No structure shall project into the front yard beyond the face primary structure (not to include the porch area).
	Note Applies to All Accessory Structures	4	Accessory structures or buildings within the rear portion of the lot constructed closer than 10' to the main structure shall have the rear yard setback of the primary structure.
	Accessory Structure Note	I	Garage/Carport Type
	Garage/Carport Note	E	Garage/Carport Note
PRIMARY STRUCTURE SETBACKS		SETBACK NOTES	
1	Front Yard	A	3' min.
2	Side Yard	B	10' min.
3	Rear Yard	C	15' min. when Adjacent to a Side Street
4	Corner Lot, Side Yard	D	Same as Primary Structure Setback
5	Corner Lot, Front Yard (Key Lot)		
		GARAGE/CARPORT NOTES	
		E	28' min.
		F	12' max.
		G	20' min.
		H	6' or Same as Primary Structure Setback

SPECIFIC STANDARDS BY LOT TYPE	SETBACKS			ADDITIONAL REQUIREMENTS
	FRONT	SIDE	REAR	
Lots Backing to Alley	D	C D	A B	A 3' rear yard setback is allowed if the structure is no greater than 8' in height. A solid fence or wall of the same height shall be built on the rear lot line to screen the structure from property located to the rear.
Lots Backing to Open Space (minimum 50' in depth)	D	C D	A	
No Alley or Open Space (minimum 50' in depth)	D	C D	B	
SPECIFIC STANDARDS BY USE OF STRUCTURE	SETBACKS			ADDITIONAL REQUIREMENTS
	FRONT	SIDE	REAR	
Guest House or Garage Apartment	D	C D	D	
Patio Covers/Arbors Attached to the Primary Structure	D	C D	B	Shall be open on all sides, have a permeable (non weather-resistant) roof, and a maximum height of one story.
Outdoor Kitchen/Fireplace	D	C D	B	On corner lots, may encroach into the side yard up to 7' from the side property line. The maximum height for outdoor kitchens in the side yard shall be 42". 100% masonry structures (no greater than 8' in height) may encroach into the rear yard up to 10' from the property line.
Fire Pit	D	C D	D	15' minimum distance from the primary structure 10' minimum distance from any combustible item.
SPECIFIC STANDARDS BY USE OF STRUCTURE	SETBACKS			ADDITIONAL REQUIREMENTS
	FRONT	SIDE	REAR	
I Alley Loaded, Attached	D	D G	G	20' minimum setback from side yard if accessed off side alley.
II Alley Loaded, Detached	D	D G	G	20' minimum setback from side yard if accessed off side alley.
III Side Loaded	D	G	D	
IV J-Swing	D	E	D	Front yard setback for J-Swing garage may be reduced by up to 10' per 4.07.02.(I) (Page 173).
V Front Loaded, Detached (Pass-Thru)		D	H	Driveway width shall be a maximum of 12' between the street and the front façade of the primary structure. 6' minimum setback from the rear property line shall be provided if a single story structures 10' or more from the primary structure. Otherwise, it shall meet the primary structure setback requirement.
VI Front Loaded, Attached	D	D	D	

Figure 4.06.04.1: Accessory Structure Regulations in All Residential Districts Except MF & MH Zoning Districts

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4.06.05. Accessory Structure Exterior Façades and Construction

(A) Exterior Façades

The exterior façades of all accessory structures, including detached garages, in all zoning districts shall be constructed of the same exterior construction material of the main building or structure, and, at a minimum, the requirements which meeting or exceed [4.07.09. Exterior Construction of Main Buildings](#) (Page [178](#)).

(B) Exceptions to Exterior Façades

- (1) Fiber cement siding may be used to fulfill masonry requirements for an accessory structure or structure of two hundred (200) square feet or less in a single family or two family district.
- (2) Exception shall be allowed to the [4.07.09. Exterior Construction of Main Buildings](#) (Page [178](#)) for accessory structures in the [AG – Agricultural District](#).
- (3) Metal or wood may be used as an exterior construction material for an accessory structure or structure of one hundred twenty (120) square feet or less in a single family or two family district.
- (4) Fiber cement siding may be used to fulfill masonry requirements for structures accessory to an existing structure constructed entirely of wood or vinyl siding.
- (5) In nonresidential districts, accessory structures with pervious roofs (e.g., pergola) may be constructed of Cedar, Douglas Fir, or other material impervious to rotting, provided masonry, matching the material of the primary building or structure, wraps around the base of each column for a minimum three (3) feet above grade.